

## FIELD REPORT No. 09

### ROUDENBUSH COMMUNITY CENTER REHABILITATION

**DATE/TIME:** June 7 – July 5, 2018 (Project Meetings on June 13, 20, 27) (Other Visit on July 5)  
**PURPOSE:** Construction Progress Summary  
**PRESENT:** Don Mills, Architect / Mills Whitaker Architects LLC  
Ron Marsden, Architect's Site Rep (Clerk) / Delmont Construction Services (6/13)  
John Lyons, Clerk Superintendent / Delmont Construction Services (6/20)  
Bill Kenison, Owner's Project Manager / Town of Westford  
Jim Zegowitz, PTBC Temp Sub for Jeanne Roberts / Town of Westford (6/20 & 6/27)  
Steve Salemi, Project Manager / NELCO Worldwide  
Aaron Falardeau, Assistant to Project Manager / NELCO Worldwide (6/13 & 6/27)  
Stevan Gauthier, Project Superintendent / NELCO Worldwide  
Alexander Castelluccio, Project Administrator / NELCO Worldwide (6/20 & 6/27)  
Shawn Chamberlin, Safety Officer / NELCO Worldwide (6/20)  
Luis Fernandez, Fire Suppression Engineer / Fernandez & Associates (7/5)

**LOCATION:** On Site

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#### ITEMS REVIEWED:

- 09.1 Progress on remaining portions of interior framing modifications is still underway. The Architect issued a request for reinforcement of two stair landings on June 8 and received a cost proposal on July 9. A cupola post support at the Third Floor above the HCAP toilet room was in place as of July 5.
- 09.2 Interior work has included installation of metal stud framing, metal doorframes and framed openings for wood door frames at all levels. Restored window sash at the Third Floor front façade have been replaced into their respective openings, and the missing window at the rear façade (former fire escape) is in place.
- 09.3 Sprinkler, plumbing and heating piping work are all in progress inside the building. The Fire Suppression Engineer toured the site on July 5 and issued the attached Field Report summarizing his observations.
- 09.4 The new electrical service was energized on Friday, June 29, and the former service was removed.
- 09.5 Exterior work has been progressing including wood shingle siding repairs, exterior painting, repointing mortar at the granite facade, and roofing slate replacement work.
- 09.6 Extension of the scaffolding at the west side of the exterior up to the roof level is underway following the removal of overhead cables for the former electrical service, providing access for all trades to eave level.
- 09.7 Cupola repair work is fully underway and replacement of the copper belfry deck has begun.
- 09.8 The Architect and Owner agreed upon paint colors for the raised letters at the entrance archway and dates at the upper front façade. For all other interior finish and color selections, a larger contingent of Owner input will be required via the PTBC and we are still awaiting final buyout on all subs by the GC.
- 09.9 Project Meetings will continue to be held weekly on Wednesdays at 9:00 AM.
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**Report By:** Don Mills, Architect / Mills Whitaker Architects LLC (Issued on 07/10/2018)  
**Distribution to:** Usual Attendees as Noted Above (representing GC, Town, Architect)  
Greg Nowak, Structural / Structures North Consulting Engineers  
Luis Fernandez, Fire Suppression / Fernandez & Associates  
Steve Forte, Plumbing & HVAC / Forte Engineering  
Mike Greco, Electrical / Johnson Engineering & Design  
Craig Whitaker, Architect / Mills Whitaker Architects LLC  
Eric Heideman, Assistant Town Manager / Town of Westford  
Greg Johnson, Project & Procurement Specialist / Town of Westford  
Tom Mahanna, Chair of Permanent Town Building Committee / Town of Westford

**Attachments:** Field Photos, Page B.01 to B.16  
Fernandez & Associates, Field Report No. 001, 7-05-18 (4 pages)

180620-IMG\_8668.jpg



*View of Scaffolding from Rear Parking Lot;  
Upper Portion at Rear Dormer & Chimney Removed*

180705-IMG\_8741.jpg



*Pair of Extension Ladders Attached to Cupola;  
Weather Vane Removed for Repairs*

180705-IMG\_8742.jpg



*Transom Columns & Ledge Removed from Cupola;  
Fascia & Soffit Boards Also Removed*

180705-IMG\_8743.jpg



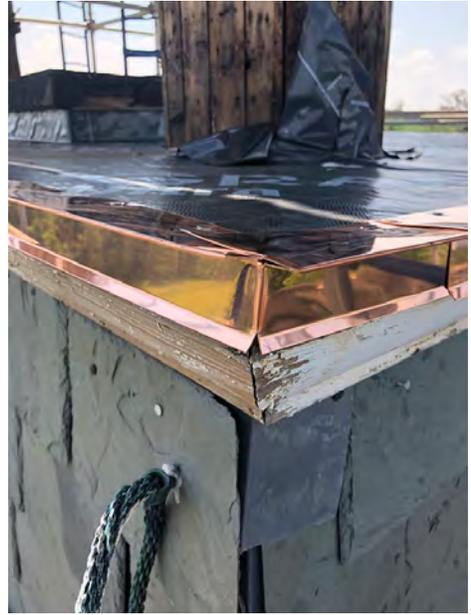
*Exterior Detail of Sheathing at Corner Pier and Transom*

180705-IMG\_8739.jpg



*Belfry Deck Copper Work in Progress;  
Copper Drip Edging & Self-Adhering Membrane in Place*

180705-IMG\_8738.jpg



*Belfry Deck Copper Work in Progress;  
Detail at Corner of Copper Drip Edge Moulding*

180705-IMG\_8737.jpg



*First Row of Flat Seamed Copper Installed  
at Portion of Perimeter*

180705-IMG\_8736.jpg



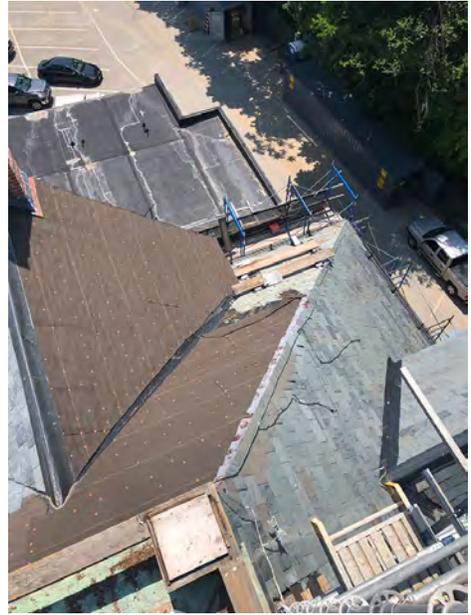
*First Row of Flat Seamed Copper Installed  
to Edge of Corner Columns*

180705-IMG\_8744.jpg



*Slate Installation in SE Corner of Roof in Progress*

180705-IMG\_8745.jpg



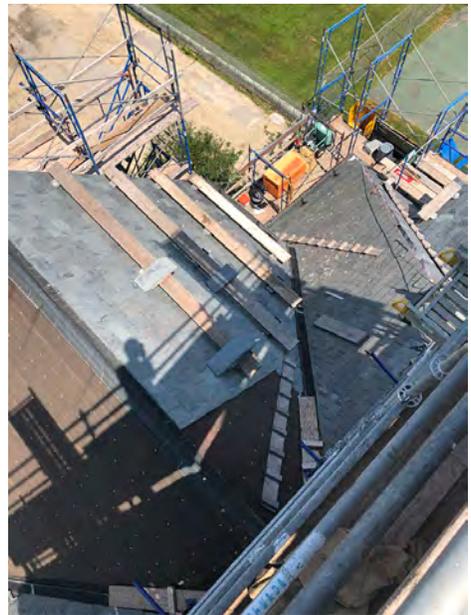
*Existing Slates Removed in Portion of SW Roof Area*

180705-IMG\_8747.jpg



*Slate Replacement Started at West Side of North Gable;  
West Side of Valley (at left) Not Yet Replaced*

180705-IMG\_8748.jpg



*Slate Replacement Completed at East Side of North Gable;  
East Side of Valley (to right) Not Yet Replaced*

180613-IMG\_8631.jpg



*CMU Infill at East Facade to Restore Original Masonry Opening After Removal of More Recent Boiler Room Entry*

180627-IMG\_8703.jpg



*Original Granite Facing & Backup Rubble Masonry Adjacent to Opening to be Restored*

180627-IMG\_8704.jpg



*Repointed Granite Facing; Stone is Streaked After Mortar Washdown; Full Cleaning Not Yet Completed*

180627-IMG\_8705.jpg



*Granite Not Yet Cleaned as Seen in West Portico Entrance Area with Stained & Streaked Stones*

180620-IMG\_8679.jpg



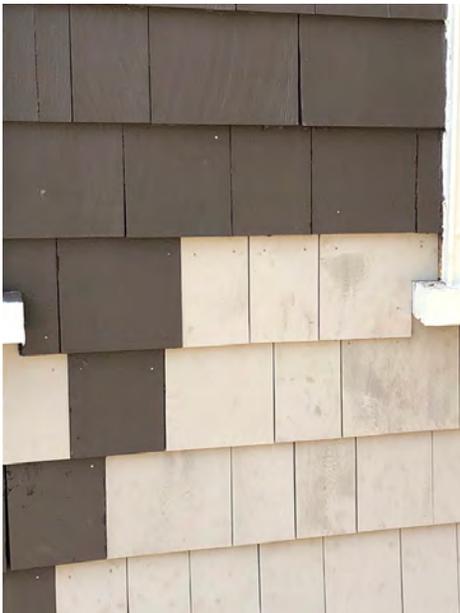
*Loose Existing Shingle Cladding on South Facade of Gym*

180705-IMG\_8751.jpg



*Existing Shingle Cladding Re-Nailed at South Facade of Gym*

180705-IMG\_8752.jpg



*Cladding Repairs with Primed White Cedar Shingles*

180705-IMG\_8756.jpg



*Detail of Shingle Cladding Repairs at NE Outside Corner of Gym*

180613-IMG\_8640.jpg



*Copper Pan Flashing Installation at East Facade of Gym for Replacement of Exterior Window Sills*

180613-IMG\_8641.jpg



*Mahogany Sill Replacement for Gym Windows at East Facade*

180613-IMG\_8643.jpg



*Preparations of Copper Pan Flashing at Sills*

180620-IMG\_8672.jpg



*Replacement Sills Installed at East Facade of Gym*

180620-IMG\_8674.jpg



*Detail of Replacement Sill and Deteriorated Casings in Need of Epoxy Repairs as Specified*

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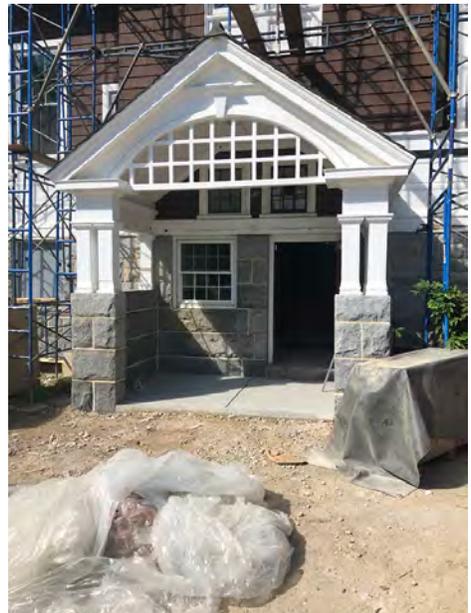
*Detail of Replacement Sill and Epoxy Repairs to Exterior Casings*

180613-IMG\_8627.jpg



*Front Entrance with Painter's Protection Atop Granite Steps*

180613-IMG\_8628.jpg



*East Portico During Construction; Entry Slab Replaced*

180613-IMG\_8630.jpg



*Installation of Conductors to Transformer in Preparation of New Electrical Service*

180613-IMG\_8633.jpg



*Main Circuit Breaker & Distribution Panels at East Wall of Electrical Room in Basement*

180613-IMG\_8634.jpg



*Panels MP & BP at West Wall of Electrical Room*

180613-IMG\_8635.jpg



*Panels EM-I and GP-I at South Wall of Electrical Room*

180613-IMG\_8638.jpg



*Elevator Pit Prior to Installation of Waterproofing*

180613-IMG\_8639.jpg



*Elevator Machine Room & Hollow Metal Door Frame; Drywall Installation Nearly Completed*

180705-IMG\_8725.jpg



*Elevator Machine Room Disconnect of Painted CMU Hoistway Wall at Left*

180705-IMG\_8726.jpg



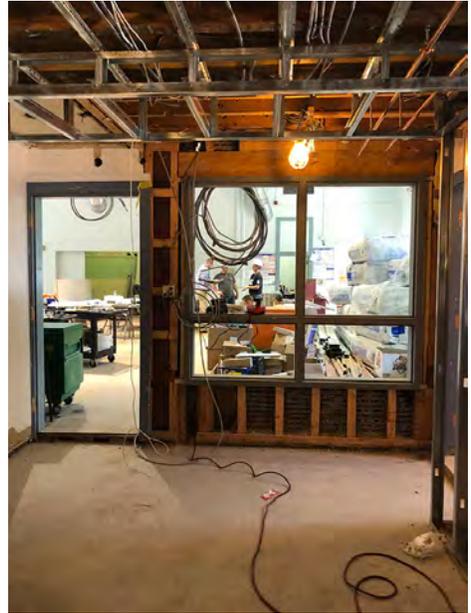
*Drywall Completed in Elevator Machine Room*

180705-IMG\_8728.jpg



*Ramp and Stairs at North End of Lower Lobby  
Looking Toward Accessible Entry at West Portico*

180705-IMG\_8729.jpg



*Borrowed Light Frame Added in Gym Wall to Provide  
Visual Connection from Lobby & Entry to Gymnasium*

180705-IMG\_8730.jpg



*Rough Framing & Plumbing at Basement Men's Room*

180705-IMG\_8727.jpg



*Rough Framing & Plumbing at Basement Women's Room*

180705-IMG\_8731.jpg



*Door at Left to Community Education Room;  
Door at Right to Hallway Leading to Finance Office*

180705-IMG\_8723.jpg



*Toothed-In Brick Masonry at East Entry to Infill  
Former Men's Room Door at Stair Landing*

180705-IMG\_8732.jpg



*Looking East in Basement Hallway Toward  
East Portico Entrance Landing*

180705-IMG\_8724.jpg



*Looking West in Basement Hallway;  
Tooth-In Masonry at Wall Adjacent to Custodial Closet;  
Door to Elevator Machine Room Beyond*

180620-IMG\_8671.jpg



*Salvaged Wainscoting from Demolition Stored in Gymnasium at Floor Awaiting Re-Installation*

180620-IMG\_8670.jpg



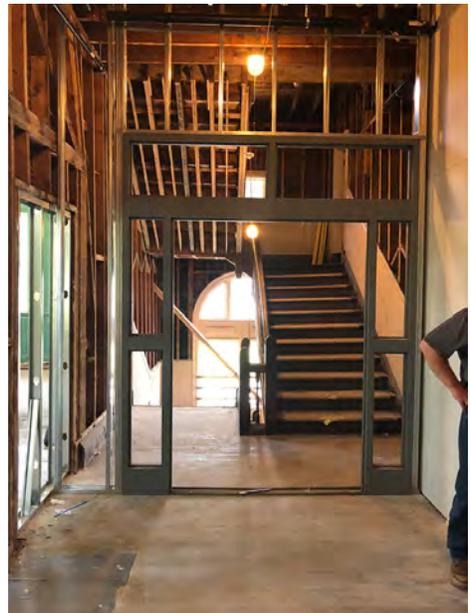
*Salvaged Metal Ceiling Panels from Demolition Stored in Gymnasium Awaiting Re-Installation*

180613-IMG\_8622.jpg



*Four Hollow Metal Frames for Stairway Doors at First and Second Floors Stored in Director's Office*

180705-IMG\_8721.jpg



*One of Four Stairway Door Frames Installed at Lobby to Second Floor East Stair*

180705-IMG\_8722.jpg



*Door Framing for Transom-Type Opening into Second Floor Classroom 3 from Lobby*

180705-IMG\_8720.jpg



*Re-Framed Opening into Kitchen at Second Floor to Relocate Doorway Further From Stairway*

180613-IMG\_8625.jpg



*Accessible Toilet Room Adjacent to Avis Lounge at First Floor with Rough Framing & Plumbing*

180613-IMG\_8624.jpg



*Art Sink Alcove Adjacent to Avis Lounge at First Floor*

180705-IMG\_8733.jpg



*Hollow Metal Door Frame to Dry Sprinkler Valve Room at Third Floor (For Attic Sprinklers)*

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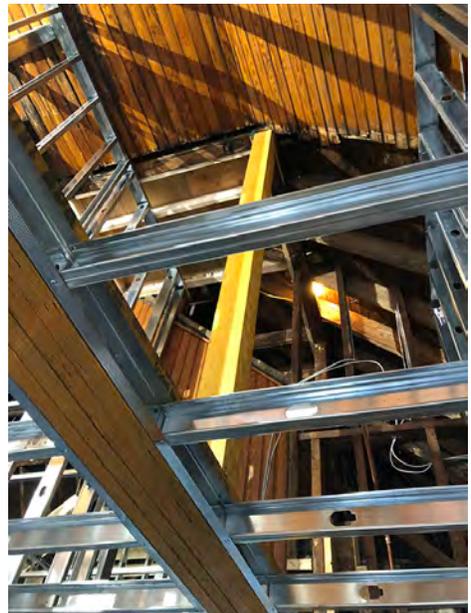
*Metal Stud Wall Framing at Seminar Room on Third Floor*

180705-IMG\_8716.jpg



*Metal Stud Framing at Academy Loft on Third Floor; CMU Elevator Hoistway Termination*

180705-IMG\_8715.jpg



*Post & Transfer Beam at Third Floor at Ceiling of Accessible Toilet Room to Cupola Framing Support*

180613-IMG\_8652.jpg



West Side of Existing Third Floor Dormer at Former Fire Escape Exit Door Framed for Missing Window

180613-IMG\_8653.jpg



West Side of Existing Rear Third Floor Dormer

180613-IMG\_8654.jpg



Replacement Window for Insertion into Re-Framed Opening of Former Fire Escape Exit Door

180705-IMG\_8717.jpg



Window Installed at Former Fire Escape Exit Door; Temporary Plywood "Plans Table" in Foreground

180613-IMG\_8647.jpg



*Restored Center Casement Sash for Front Facade at Third Floor Seminar Room (Unit W32) Ready for Installation*

180613-IMG\_8646.jpg



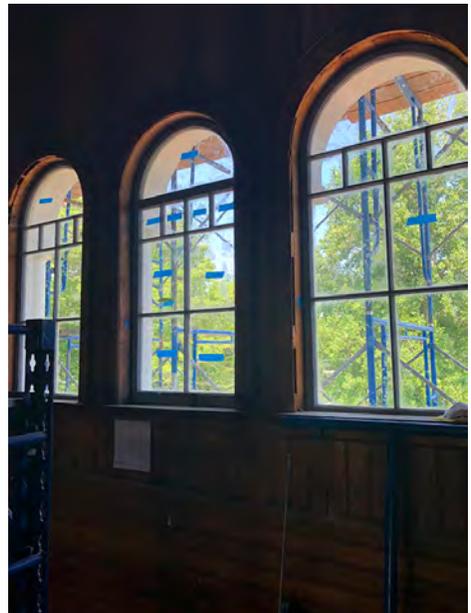
*One of Two Fixed Flanking Windows at Third Floor Seminar Room (Units W31/32) Ready for Installation*

180613-IMG\_8649.jpg



*Restored Transom Window W32 Ready for Installation*

180705-IMG\_8719.jpg



*Windows on Front Facade of Third Floor Re-Installed*



## FIELD OBSERVATION REPORT

<b>Project No.:</b>	545	<b>Report No.:</b>	001
<b>Project Type:</b>	Roudenbush Community Center	<b>Day:</b>	Thursday
<b>Project Location:</b>	65 Main Street - Westford, MA	<b>Date:</b>	7-05-18
<b>Owner:</b>	Town of Westford	<b>Time of Visit:</b>	10:00 AM
<b>Contractor:</b>		<b>Weather:</b>	Sunny
		<b>Temperature:</b>	85

### Persons Contacted:

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### Reason for Site Visit:

Construction Progress
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### Completed Work Observed:

<ol style="list-style-type: none"><li>1. Incoming service, backflow preventer and wet-pipe valve installed.</li><li>2. Mains and branch lines have been installed on levels 1, 2 and 3.</li><li>3. Standpipe/FP risers installed.</li></ol>
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### Comments and Remarks:

<ol style="list-style-type: none"><li>1. Installation proceeding in a professional manner.</li><li>2. On the 2<sup>nd</sup> Floor there is a sprinkler branch line under copper piping will trap some of the system. It appears that there is enough room to go above the copper pipe and avoid trapping water.</li><li>3. On the 2<sup>nd</sup> Floor there are two sidewall sprinkler heads covered in plaster.</li></ol>
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### Distribution:

Donald Mills, R.A. – Mills Whitaker Architects
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**Prepared By:** Luis F. Fernández, P.E.



Lower Level – Sprinkler Room Incoming Service



Second Floor – Sidewall sprinkler covered in plaster.



Second Floor – Sprinkler branch line under copper pipe.