

FIELD REPORT No. 08

ROUDENBUSH COMMUNITY CENTER REHABILITATION

DATE/TIME: May 3 – June 6, 2018 (Project Meetings on May 9, 16, 23, 30, June 6) (Other Visits 5/18 + 6/4)

PURPOSE: Construction Progress Summary

PRESENT: Don Mills, Architect / Mills Whitaker Architects LLC
Ron Marsden, Architect's Site Rep (Clerk) / Delmont Construction Services
Bill Kenison, Owner's Project Manager / Town of Westford
Jeanne Roberts, Permanent Town Building Committee / Town of Westford
Jodi Ross, Town Manager / Town of Westford (5/18 for exterior paint)
Eric Heideman, Assistant Town Manager / Town of Westford (5/18 for exterior paint)
Steve Salemi, Project Manager / NELCO Worldwide
Stevan Gauthier, Project Superintendent / NELCO Worldwide
Alexander Castelluccio, Project Administrator / NELCO Worldwide (5/23 & 5/30)

LOCATION: On Site

ITEMS REVIEWED:

- 08.1 The reinforced CMU elevator hoistway was completed with the installation of the ceiling framing at the top of the hoistway and drilling of the cased piston hole at the bottom of the hoistway. Temporary guards have been placed at all landing openings. Floor framing connections at the perimeter of the hoistway at the first, second and third floor levels are nearing completion. Other interior framing modifications are progressing.
- 08.2 The Architect and Owner reviewed paint samples for the exterior siding and trim on Friday, May 18. Paint colors for the brown shingle siding and white trim were selected with the concurrence of all present. Other exterior colors (doors, wood window sash, archway raised letters) still need to be selected. For interior finish and color selections, a larger contingent of Owner input will be required via the PTBC.
- 08.3 Exterior work that is underway includes exterior painting, removal of pointing mortar at the granite facing stones, repointing of the brick chimney, and reconstruction of the upper courses of the chimney.
- 08.4 Sprinkler piping has been making progress throughout the building, including standpipes in both stairways.
- 08.5 Scaffolding for the exterior of the building is still incomplete at the west side in the vicinity of the existing overhead electrical cables. National Grid informed the Owner that the transformer should be delivered to the site on June 11. The Electrician has been installing main switchgear in the electrical room in anticipation of getting the new service ready as soon as National Grid completes their work. Completion of the staging will be done as soon as the overhead cables are removed, providing access for roofing and other trades.
- 08.6 Roofing work at the main 1897 portion of the building continues to make progress on the east side of the building. Workmanship for the replacement slates, underlayment and copper work is very good.
- 08.7 The Architect, Owner and Contractor reviewed the scope and strategy for repairs to concealed damage at the cupola level. The Contractor has received a proposal from American Steeple for addressing the repairs and, at the Contractor's request, addressing the base bid and alternate 1 work above the belfry level.
- 08.8 Project Meetings will continue to be held weekly on Wednesdays at 9:00 AM.

Report By: Don Mills, Architect / Mills Whitaker Architects LLC (Issued on 05/07/2018)

Distribution to: Usual Attendees as Noted Above (representing GC, Town, Architect)
Greg Nowak, Structural / Structures North Consulting Engineers
Luis Fernandez, Fire Suppression / Fernandez & Associates
Steve Forte, Plumbing & HVAC / Forte Engineering
Mike Greco, Electrical / Johnson Engineering & Design
Craig Whitaker, Architect / Mills Whitaker Architects LLC
Eric Heideman, Assistant Town Manager / Town of Westford
Greg Johnson, Project & Procurement Specialist / Town of Westford
Tom Mahanna, Chair of Permanent Town Building Committee / Town of Westford

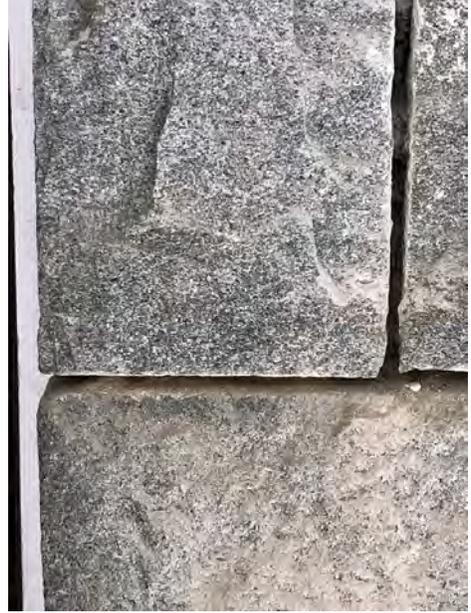
Attachments: Field Photos, Page B.01 to B.11

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Mortar Joints Cut Out at Exterior Granite in Preparation for Repointing of Exterior

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Detail of Pointing Mortar Removal at Granite Exterior in Preparation for Repointing

180523-IMG_8527.jpg



Detail of Original Pointing with Concave Half Round Tooling in Middle of Mortar Joint

180523-IMG_8526.jpg



Two Samples with Two Sizes of Half Round Tooling; Upper Sample is Larger than the Original; Lower Sample is the Approved Match

180523-IMG_8525.jpg



Solid Painted Plywood Set Into Original Frame to Retain Original Opening at Former Men's Room; Vinyl Window Removed for Electrical Room Within

180530-IMG_8581.jpg



Scaffolding at Rear Facade to Enable Reconstruction of Upper Portion of Brick Chimney and Repointing of Full Height of Chimney

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Detail of Replacement Flashing and Repointing at Base of Existing Brick Chimney at South Facade

180530-IMG_8569.jpg



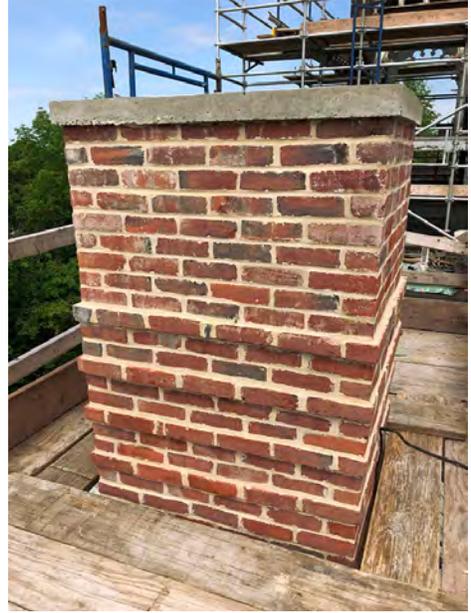
Detail of Repointing of Existing Brick Chimney

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*Chimney Repointed and Washed;
Flashings at Rear Gable Roof Replaced*

180530-IMG_8575.jpg



*Upper Coursing of Chimney Reconstructed with
Salvaged Brickwork from Existing Chimney*

180530-IMG_8576.jpg



*Blind Side of Chimney Fitted with Brick Vent Louver;
Chimney Capped with Concrete Matching the
Original Cap (But With Full Coverage)*

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*Detail of One of the Pair of Weeps at Head Lintel of
Brick Louver; Chimney No Longer Venting the Boiler;
Louver Vent is for Relief of Interior Condensation*

180523-IMG_8501.jpg



East Slope of Front Gable of Slate Roof; Roofing Felt Paper Over Slope with Ice/Water Shield (Now Concealed) at Eave, Valley, Rake

180530-IMG_8582.jpg



Installation of Slate Shingles at East Slope of Front Gable; Provision of Snow Rails & Pads to Replicate Former Pattern

180523-IMG_8506.jpg



Hip Detail at Dormer Showing Incremental Concealed Copper Flashing to Cover Open Hip Joint

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Revised Slate Shingle Detail at Closed Valleys; Former Open Valleys Allowed for Ice Wedging

180523-IMG_8503.jpg



Copper Drip Detail at Eave

180523-IMG_8504.jpg



Detail of Hip Miter at Slate Shingles

180530-IMG_8573.jpg



*East Facade Roofing at Main Slope and Hip Dormer;
Embedded Dormer to Receive Slates at Side Walls*

180530-IMG_8578.jpg



*Rear Slope of Main Room Below Cupola at South Gable;
This Slope Contained Older Shingles Than Other 3 Exposures;
East Side of Rear Gable Prepped for Replacement Slates;
Slates at West Side of Rear Gable Not Yet Removed*

180530-IMG_8570.jpg



Southwest Corner of Rear Gable with Painted Wood Shingles Side Walls; Slates in View Not Yet Removed; Snow Rail in Foreground to Be Salvaged and Reinstalled

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East Facade at Southeast Corner Repainted; South Facade at Left Not Yet Repainted

180530-IMG_8566.jpg



Scaffolding for Roofing and Painting at West Side Awaiting Removal of Overhead Power Lines for Full Access; Power Lines Wrapped in Orange Protective Covering

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Repainting of Upper Trim at Gymnasium in Progress

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Drilling of Hole for Piston at Base of Elevator Shaft

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Completed Elevator Shaft at Third Floor

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Framing and Fire Suppression Piping Adjacent to Elevator Shaft at First Floor Lobby Area

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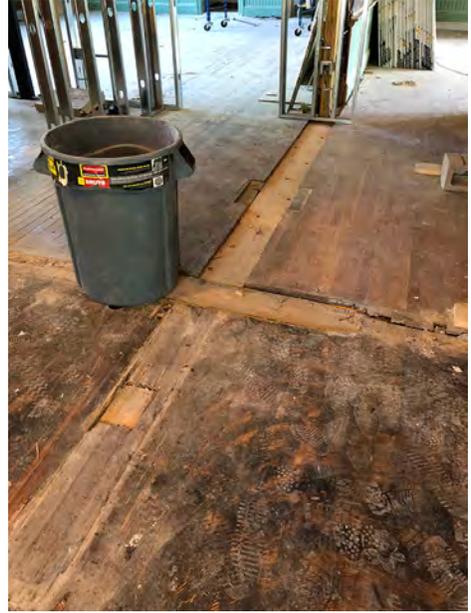
Elevator Shaft and Fire Suppression Piping at Lobby of Second Floor

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East Stair Landing at Former Door Opening in Painted Brick Wall to Men's Room in Basement; Brick Wall Infill to Follow; Staff HCAP Toilet Beyond

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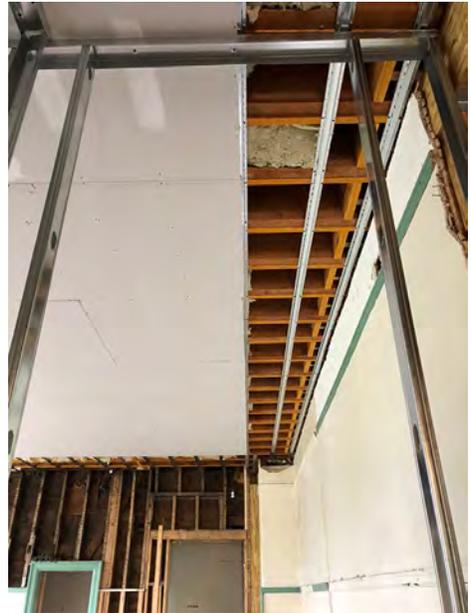
Flooring Voids at Former Stair and Classroom Wall Plates at First Floor in Reconfigured Areas

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Lobby and Accessible Toilet Framing at First Floor

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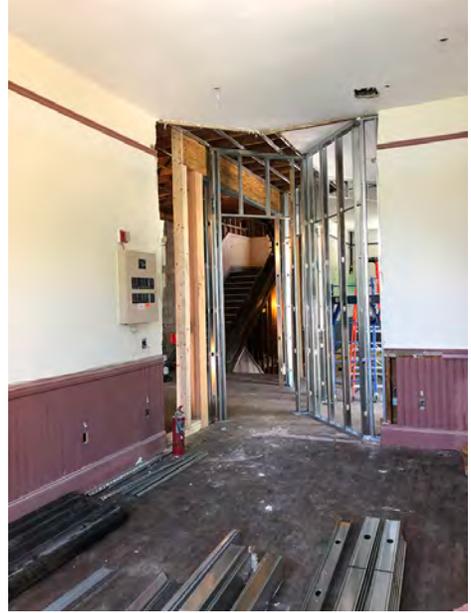
First Floor Ceiling at Avis Lounge; Sistered Joists and Mineral Wool Insulation Visible Behind Fire-Taped Gypsum

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Entrance Vestibule (at Left) and Lobby (at Right) as Seen from First Floor Receptionist Office

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View from Roudenbush Director's Office to Lobby

180530-IMG_8585.jpg



Original Safe at Closet of Director's Office

180516-IMG_8488.jpg



Detail of Steel and Wood Framing at Ceiling of Second Floor; Original Painted Tin Ceiling Beyond

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Elevator Hoistway Adjacent to West Stair at First Floor Lobby; Note Hand-Carved Newel Post

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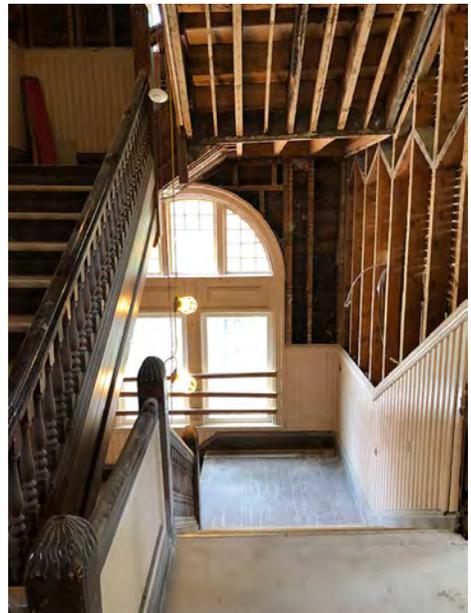
East Stairs at First Floor Lobby with Original Wainscoting and Hand-Carved Newel; Cracked Flat Plaster to be Replaced with Drywall

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View from Second Floor Down East Stair Toward Arched Window; Landing Above at Level 2.5 to be Reinforced with Concealed Steel

180516-IMG_8491.jpg



View from Second Floor Down West Stair Toward Arched Window; Landing Above at Level 2.5 to be Reinforced with Concealed Steel

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Electrical Panel Installed at Second Floor Storage Room Adjacent to Classroom #3

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Electrical Panel Installed in Wall of Classroom #5; Kitchen at Right and Lobby Beyond

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Post for Support of Transfer Beam at Third Floor Installed at Wall Between Academy Loft and Accessible Toilet Room

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Replacement Plumbing Vent at Third Floor with Connection for Accessible Toilet Room